

ARCHITECTURAL DESIGN GUIDELINES



Southern Hills
PLANTATION CLUB

A RETURN TO TRADITION



THE VISION FOR SOUTHERN HILLS PLANTATION CLUB IS TO CREATE A COMMUNITY THAT IS GROUNDED IN THE BEST TRADITIONS OF THE SOUTH. THE ARCHITECTURAL INTEGRITY FOR THE COMMUNITY SPRINGS FROM THE SOUTHERN ROOTS FOUND HERE IN BROOKSVILLE AND HERNANDO COUNTY. THE INTENT OF THE ARCHITECTURAL GUIDELINES IS TO EMBRACE THESE CLASSIC DESIGNS AND BRING AN AUTHENTICITY TO THE STREET SCENES IN SOUTHERN HILLS.

Five distinctive architectural styles have been selected that reflect this authenticity that can be found in the classic and timeless homes around downtown Brooksville. A comprehensive set of design standards has been prepared, in cooperation with top consultants, to guide the Builders and property owners in the planning of their homes, with a goal of weaving this strong sense of place throughout the neighborhoods in Southern Hills.

The intent of the guidelines is not to dictate the specific architecture of each home. A variety of plans will be offered in each of these styles and property owners will certainly put their unique signature on their homes.

The guidelines will provide direction to ensure all homes are of proper proportion, styling and detailing consistent with the true historical references. Site planning and other aspects will further define the architectural character as well as provide proper orientation with the natural settings.

This combination of solid architectural grounding, based on authentic designs, principles of sound site planning and quality landscaping, will contribute very positively to the overall community.

All illustrations in this brochure are intended as concepts for ideas and preplanning. We encourage creativity and discussion with our Builders.

ARCHITECTURAL STYLES

COLONIAL REVIVAL • CRAFTSMAN-BUNGALOW



GEORGIAN • LOW COUNTRY • VICTORIAN

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COLONIAL REVIVAL



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COLONIAL REVIVAL STYLE HOMES PROVIDE THE BACKBONE OF THE COMMUNITY AS ONE OF THE MOST PREDOMINATE STYLES. Some of the principal features include moderately steep side facing gable roofs and small, classically detailed covered entry porches.



HISTORICAL REVIVAL ARCHITECTURE



CLASSICAL COLUMNS/ORDERLY MASSING

REQUIRED Design Elements

- Decorative front porch to be a minimum of 7' deep x 25% of width of structure.
- Front to back gables on main body of house with 6:12 minimum roof pitch, front facing gables minimum 8:12 roof pitch.
- Steep pitched dormers (minimum 8:12).
- Boxed or returned eaves.
- Porch columns to be either 8" square with 3/4" chamfer or Doric order round.
- Porch hand railings to have 1-1/4" square or turned balusters with a shaped top rail.
- Front Elevation Wall finished to be lapped siding (reveal to be 4" to 6"), brick, painted brick or sand finished stucco.
- Windows to be vertical/rectangular in form, orderly in placement and aligned vertically.
- Simple Window and door surrounds. Window heads to be flat with half rounds used selectively. Single accent window in lieu of half round may be round or oval.
- Paneled entry door with sidelights and/or transom.

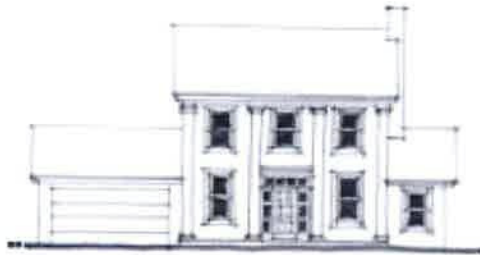
SUGGESTED Design Elements

- Symmetrical main body
- Dormers
- Shuttered windows
- Bay or palladian windows
- Gable end windows
- Split pitched roofs

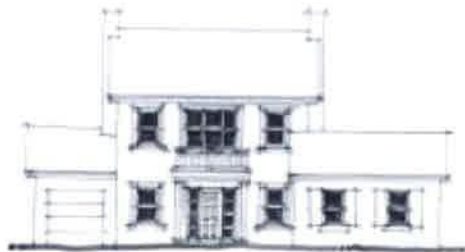
PROHIBITED Design Elements

- Exposed rafter tails
- Hip roofs at focal elements
- Corinthian columns
- Vertical siding
- Shallow roof pitch (unless used as a split pitch)
- Multiple arched or rounded windows

ROOFS/MASSING



2 STORY / 3 CAR TANDEM GARAGE

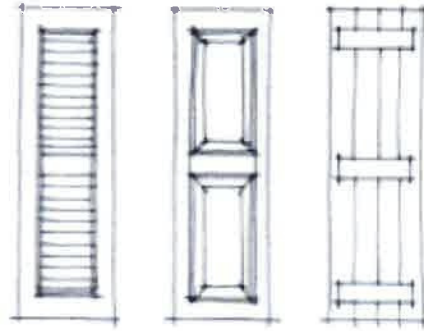


2 STORY / 2 CAR COURTYARD GARAGE /
1 CAR FRONT LOAD GARAGE



1 STORY (2 OR 3) CAR
COURTYARD GARAGE

DETAILS



LOUVERED/PANELED/PLANKED
SHUTTERS



DORMERS



MOLDED ARCH WITH SUNBURST
AND FLANKERS

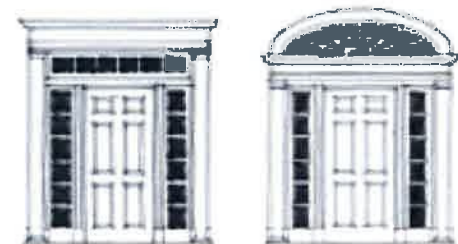
WINDOWS/DOORS



SHUTTERS TO APPEAR OPERABLE



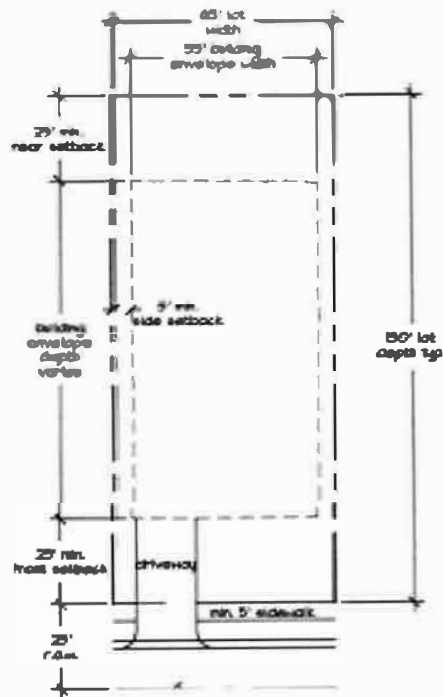
DECORATIVE PILASTERS



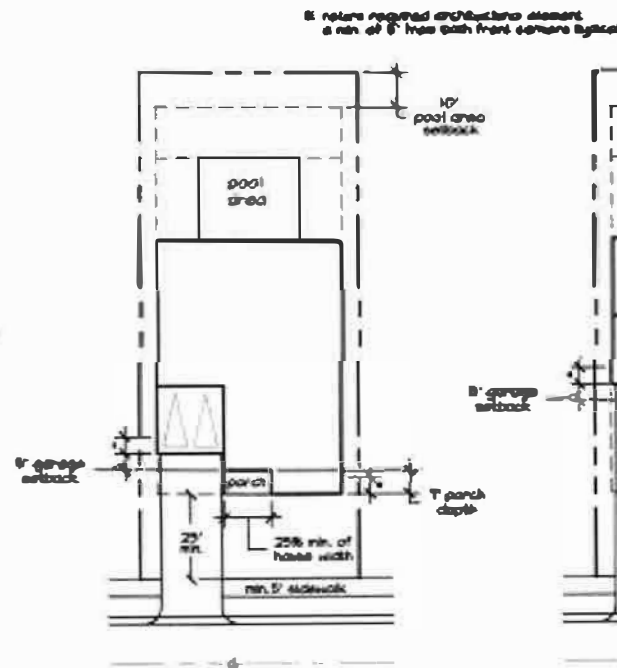
TRANSOMS/SIDE LIGHTS
DECORATIVE TRIM

GENERAL NOTES AND REQUIREMENTS

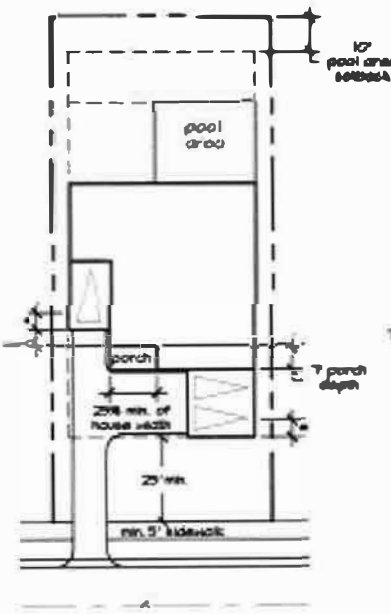
- All required architectural elements must be returned a minimum of 2' from the front corners on both sides of the front elevation. (See site plan examples)
- Front loaded garages must be set back a minimum of 5' from any adjacent structures, excluding the front porch.
- All front porches are required to be elevated a minimum of 12" above finished grade.
- All finished roofing material shall be a minimum of dimensional fiberglass shingles. Alternative roof finishes are flat concrete tile or slate.
- All roof overhangs to be a minimum of 12" at gable roofs and 16" at hip roof locations.
- If two or more windows are to be used together they will need to be spaced by a minimum of a 1-1/2" mullion, but not more than 3".
- All side and rear windows and doors shall have a minimum of 4" trim band.
- Minimum 10" frieze band required at all soffit locations on the front elevation.



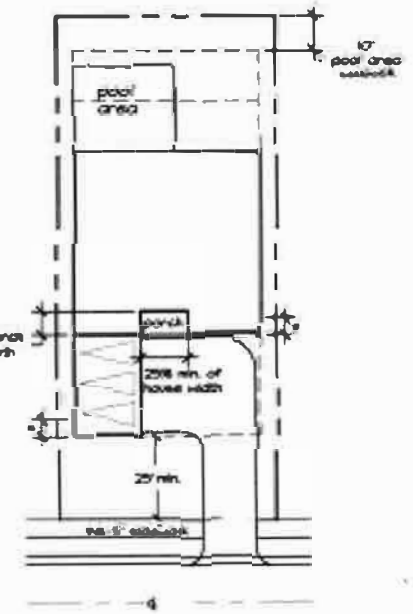
TYPICAL SITE



TYPE A

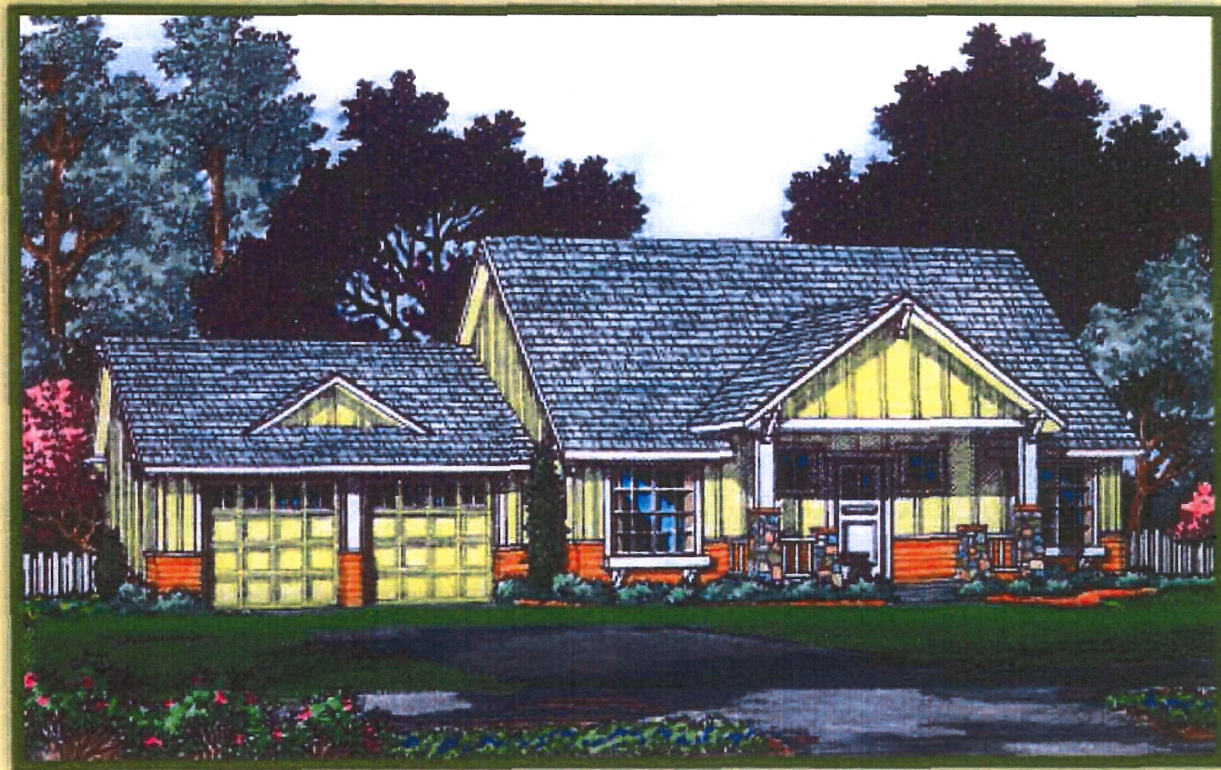


TYPE B



TYPE C

CRAFTSMAN-BUNGALOW



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CRAFTSMAN-BUNGALOW. THE PRINCIPAL FEATURES OF THE CRAFTSMAN STYLE ARE LOW TO MODERATE PITCHED ROOFS WITH WIDE OVERHANGS, unenclosed eaves and generous porches with substantial columns and bases.



HISTORICAL CRAFTSMAN ARCHITECTURE



BATTERED COLUMNS / MULTIPLE ROOF PLANES

REQUIRED Design Elements

- Decorative front porch to be a minimum of 7' deep x 50% of width of structure.
- Asymmetrical massing.
- Front to back gable (or dipped hip) roof pitches to be a minimum of 5:12 and a maximum of 6:12.
- Front facing gables with louvers, panels or other decorative elements.
- Porch columns are usually "thick" and square, sometimes round. Columns have large bases that extend to the grade.
- Porch hand railings to have "heavy" wood appearance with regular or irregular patterns. Knee walls to match column bases are often used in replacement of open railings.
- Front Elevation Wall finished to be lapped siding (with 6" or 8" reveal) or sand finished stucco. Brick, painted brick or stone may be used at the foundation, often flared at the base.
- Windows to be vertical/rectangular in form, orderly in placement with simple surrounds.
- Paneled entry door with sidelights and/or transom. Front door may also have a divided or undivided glass panel.

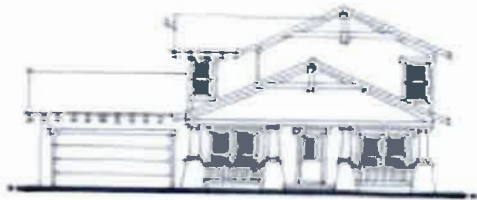
SUGGESTED Design Elements

- Window boxes
- Exposed rafter tails at eaves
- Triangle knee bracing on gable ends
- Battered or sloped square porch column bases or stucco
- Brick or stone accents
- Shed roof dormer or gable roof dormer

PROHIBITED Design Elements

- Quoins
- Crown molding
- All hip roof
- Steep roof pitches
- Keystones
- Fully symmetrical massing

ROOFS/MASSING



2 STORY / 3 CAR TANDEM GARAGE



2 STORY / 2 CAR (OR)
COURTYARD GARAGE



2 STORY / 3 CAR TANDEM GARAGE

DETAILS



GABLED DORMER



STURDY BASE & TAPERED COLUMN



CENTER FRONT GABLE (PEDIMENT)



KNEE BRACE & EXPOSED RAFTER TAILS

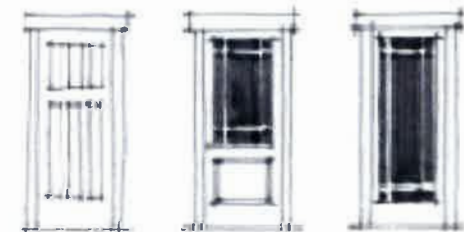
WINDOWS/DOORS



SIMPLE HEADERS /
SILLS & SKIRT BOARD



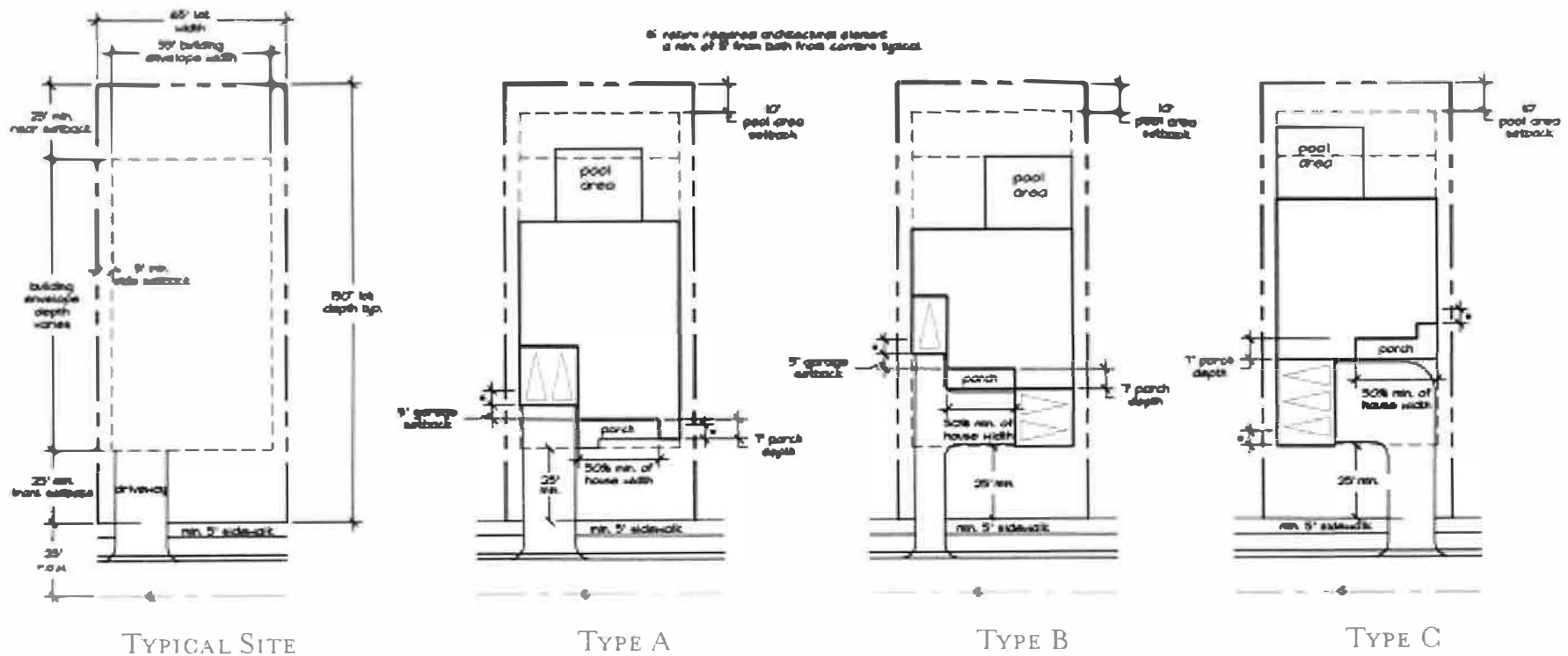
VERTICAL MUNTINS /
INTERMEDIATE JAMB BETWEEN WINDOWS



GLASS IN ENTRY DOORS TO
MATCH WINDOWS

GENERAL NOTES AND REQUIREMENTS

- All required architectural elements must be returned a minimum of 2' from the front corners on both sides of the front elevation. (See site plan examples)
- Front loaded garages must be set back a minimum of 5' from any adjacent structures, excluding the front porch.
- All front porches are required to be elevated a minimum of 12" above finished grade.
- All finished roofing material shall be a minimum of dimensional fiberglass shingles. Alternative roof finishes are flat concrete tile or slate.
- All roof overhangs to be a minimum of 16" at gable roofs and 24" at hip roof locations.
- If two or more windows are to be used together they will need to be spaced by a minimum of a 3" mullion, but not more than 8".
- All side and rear windows and doors shall have a minimum of 4" trim band.
- Minimum 6" frieze band required at all soffit locations on the front elevation.



GEORGIAN



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G EORGIAN STYLE HOMES ARE THE LANDMARKS WITHIN A COMMUNITY. Typically they have broad massing with brick veneer main bodies, slate roofs and highly detailed eaves.



HISTORICAL GEORGIAN ARCHITECTURE



2 STORY BRICK / DENTILS AT CORNICE

REQUIRED Design Elements

- Two-story requirement - 65% of the width of structure is required to be of two-story massing. This Massing needs to be at the front portion of the main body. The front porch must be a minimum of 7' deep x 10% of width of structure.
- One-story requirements - 25% of the width of structure is required to be a minimum of 14' height. The front porch must be a minimum of 7' deep x 25% of width of structure.
- Front to back roof pitches to be a minimum of 6:12, front facing gables minimum 6:12 roof pitch.
- Hipped roof on main body of house with front facing gable entry feature, or front to back gable with dormers.
- Porch Columns to be Ionic or Doric.
- Decorative gable details.
- Front Elevation Wall finishes to be brick, painted brick or sand finished stucco.
- Formal window placement. (Windows aligned horizontal and vertical.)
- Strong trim banding details. (At windows with or without shutters.)
- Single and not paired windows.
- Paneled entry door with sidelights and/or transom.

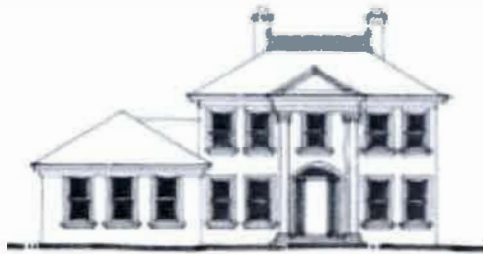
SUGGESTED Design Elements

- Shuttered windows
- Pediment entry statement and window treatment
- "Widow's walk"
- Dentil molding
- Symmetrical chimneys
- Porch with monumental columns
- Quoins
- Dormers

PROHIBITED Design Elements

- All hip roof
- Multiple arched windows
- Paired windows
- Exposed rafter tails
- Vertical siding
- Spindly columns
- Shallow roof pitch

ROOFS/MASSING



2 STORY / 2 CAR (OR)
3 CAR COURTYARD GARAGE



2 STORY / 3 CAR GARAGE



2 STORY / 3 CAR TANDEM GARAGE

DETAILS



HEADER FEATURES & KEYSTONES



CENTER FRONT GABLE (PEDIMENT)

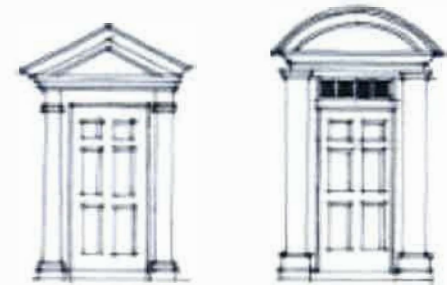


DENTILS & COVE MOLDINGS

WINDOWS/DOORS



ARCH SURROUND &
PALLADIAN WINDOW



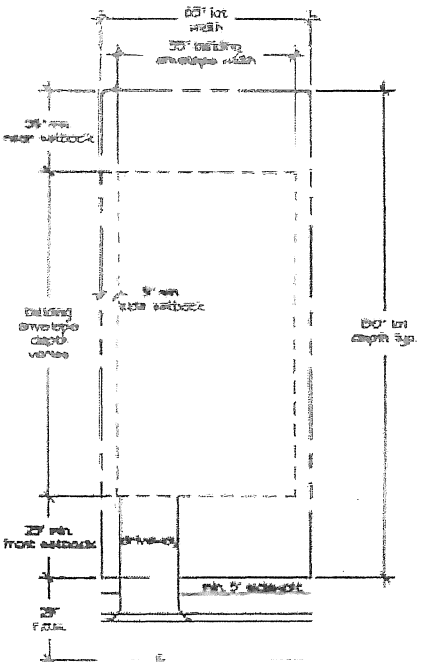
DOOR SURROUNDS & PILASTERS



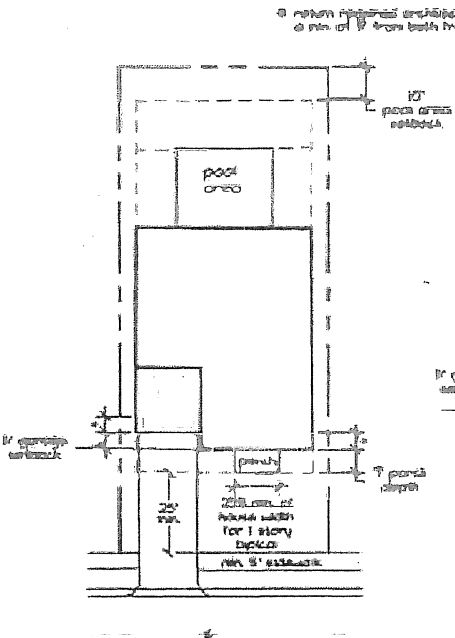
SHALLOW PROJECTING CENTRAL FACADE

GENERAL NOTES AND REQUIREMENTS

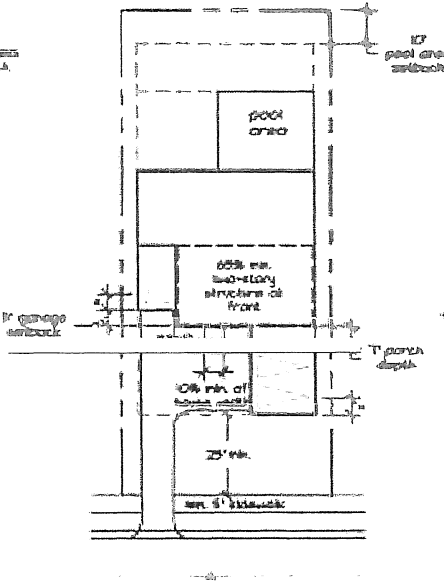
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- Front loaded garages must be set back a minimum of 5' from any adjacent structures, excluding the front porch.
- All front porches are required to be elevated a minimum of 12" above finished grade.
- All finished roofing material shall be a minimum of dimensional fiberglass shingles. Alternative roof finishes are flat concrete tile or slate.
- All roof overhangs to be a minimum of 12" at gable roofs and 16" at hip roof locations.
- All side and rear windows and doors shall have a minimum of 4" trim band.
- Minimum 10" frieze band required at all soffit locations on the front elevation.



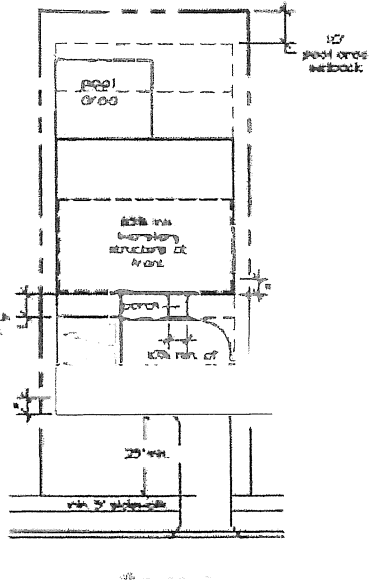
TYPICAL SITE



TYPE A

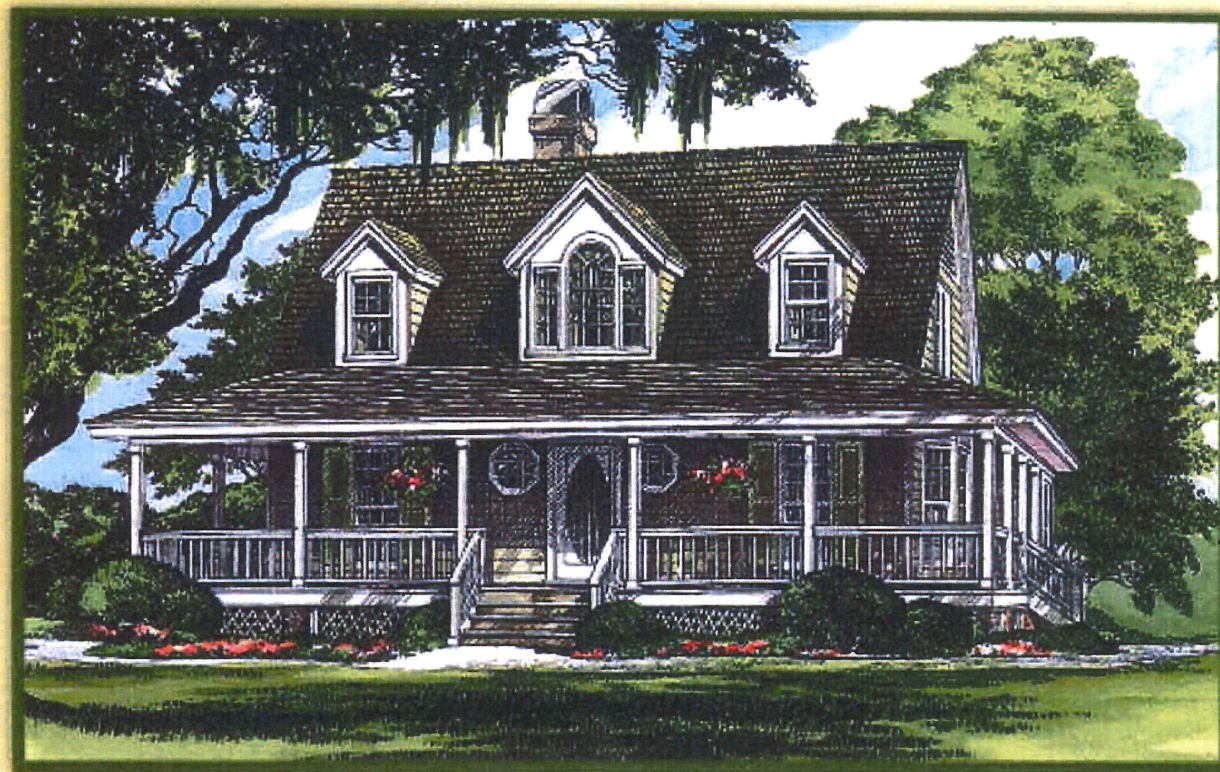


TYPE B



TYPE C

LOW COUNTRY



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LOW COUNTRY. THE PRINCIPAL FEATURES OF THE LOW COUNTRY STYLE ARE SIMPLE FORM, SIMPLE DETAILED AND INFORMAL STYLE. The deep porch of the Low Country home is often an extension of the inside space and is often used for dining or as a gathering place.



HISTORICAL LOW COUNTRY ARCHITECTURE



LARGE FRONT WINDOWS / WIDE FRONT STEPS

REQUIRED Design Elements

- Decorative front porch to be a minimum of 7' deep x 25% of width of structure.
- Front to back roof pitches to be a minimum of 6:12, front facing gables minimum 8:12 roof pitch.
- Porch columns to be either 8" square with 3/4" chamfer or 12" Doric order round.
- Porch hand railings to have 1-1/4" square or turned balusters with a shaped top rail.
- Front Elevation Wall facades to be lapped siding. Reveal to be 4" to 6". Other finishes may be brick, painted brick, vertical siding or sand finished stucco. (See Site Plan examples for the limits of the required elements.)
- Windows to be vertical/rectangular in form, orderly in placement and aligned vertically.
- Simple Window and door surrounds. Window heads to be flat with half rounds used selectively. Single accent window in lieu of half round may be round or oval.
- Paneled entry door with sidelights and/or transom.

SUGGESTED Design Elements

- Exposed rafter tails
- Shuttered windows
- Gable end windows
- Brick veneer
- Palladian windows at gables
- Limited metal roofs
- Broken roof pitches, minimum 4:12
- Vertical siding

PROHIBITED Design Elements

- Quoins
- All hip roof
- Corinthian columns
- Shallow roof pitch (unless used as a split pitch)
- Multiple arched or rounded windows

ROOFS/MASSING



2 STORY / 2 CAR (OR)
3 CAR TANDEM GARAGE



1 STORY / 2 CAR FRONT LOAD GARAGE



2 STORY / 2 CAR (OR)
3 CAR COURTYARD GARAGE

DETAILS



STANDARD DORMER IS AS WIDE AS
WINDOW WITH CASING



METAL ROOFS /
EXPOSED RAFTER TAIL



12" ROUND COLUMN

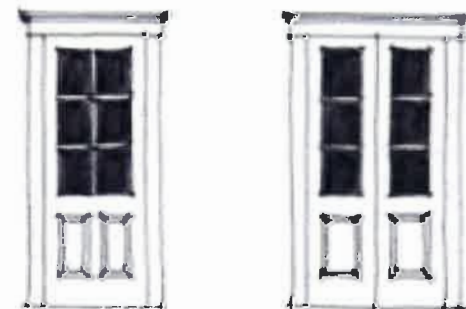
WINDOWS/DOORS



SIMPLE HEAD & JAMB TRIMS
WITH SIDING/
MORE DETAILED WITH STUCCO



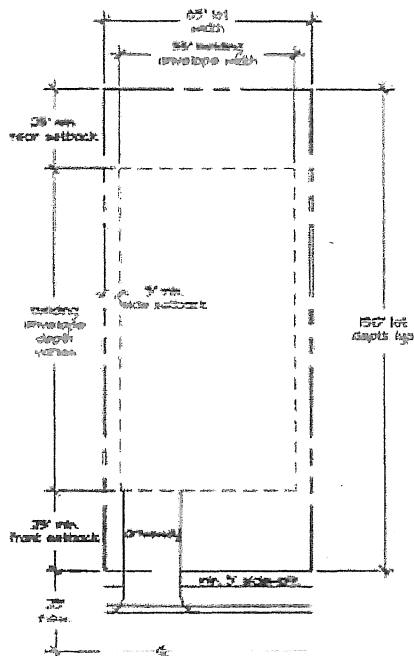
PLANKED SHUTTERS



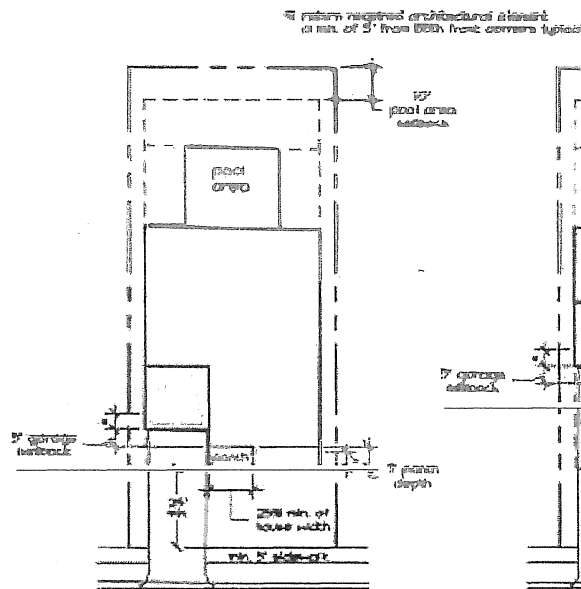
HEADER AND JAMB TRIM TO MATCH
WINDOW TRIM

GENERAL NOTES AND REQUIREMENTS

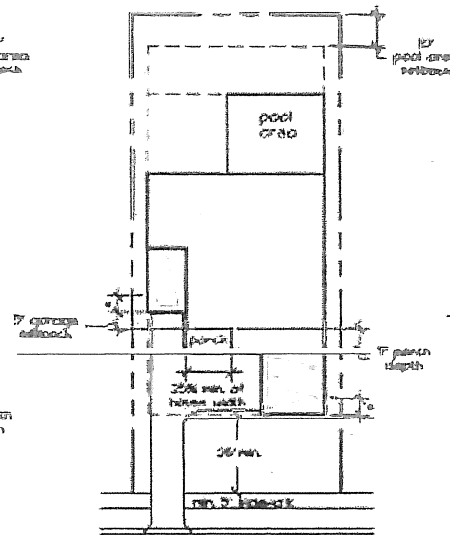
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- Front loaded garages must be set back a minimum of 5' from any adjacent structures, excluding the front porch.
- All front porches are required to be elevated a minimum of 12" above finished grade.
- All finished roofing material shall be a minimum of dimensional fiberglass shingles. Alternative roof finishes are flat concrete tile or slate. A limited amount of metal roofing may be used as well.
- All roof overhangs to be a minimum of 12" at gable roofs and 16" at hip roof locations.
- If two or more windows are to be used together they will need to be spaced by a minimum of a 1-1/2" mullion, but not more than 3".
- All side and rear windows and doors shall have a minimum of 4" trim band.
- Minimum 6" frieze band required at all soffit locations on the front elevation.



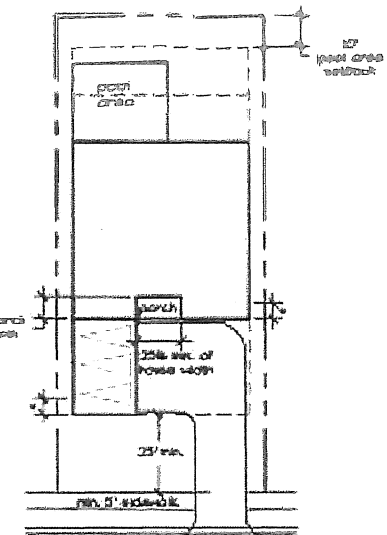
TYPICAL SITE



TYPE A



TYPE B



TYPE C

VICTORIAN



Southern Hills
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VICTORIAN STYLE IS DOMINATED BY STEEPLY PITCHED GABLE ROOFS FACING THE STREET. Although the massing and roof forms are similar to the Low Country style, this is a more “detailed” version.



HISTORICAL VICTORIAN ARCHITECTURE



BATTERED COLUMNS / MULTIPLE ROOF PLANES

REQUIRED Design Elements

- Decorative front porch to be a minimum of 7' deep x 25% of width of structure.
- Front to back gables on main body of house with 6:12, front facing gables minimum 8:12 roof pitch.
- Porch columns to be either square or Queen Anne type. (Turned columns.)
- Porch hand railings to have decorative spindles and flat jigsaw cut trim (ginger bread) at soffit.
- Front Elevation Wall finishes to be siding (lapped or vertical). Minimum reveal to be 6".
- Window and door surrounds with simple pediment. Surrounds may be decorative.
- Windows with multi-paned or clear vertical proportions.
- Paneled entry door with sidelights and/or transom. Entry door may also have decorative glass panels.

SUGGESTED Design Elements

- Suspended gable end detail
- Shuttered windows
- “Fish scale” texture at gables
- Dormers
- Brick or stucco foundation with lattice work
- Palladian windows at gables
- Limited metal roofs
- Broken roof pitches, minimum 4:12

PROHIBITED Design Elements

- Quoins
- Round columns
- Stucco on front elevation
- Arched windows
- Fully symmetrical massing
- Keystones

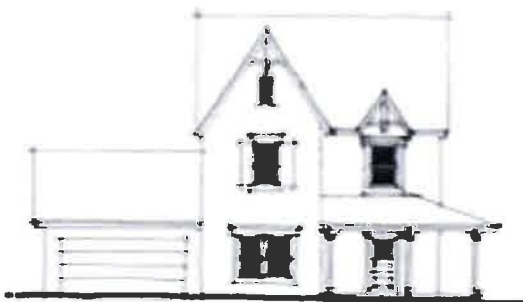
ROOFS/MASSING



1.5 STORY / 2 CAR FRONT LOAD GARAGE

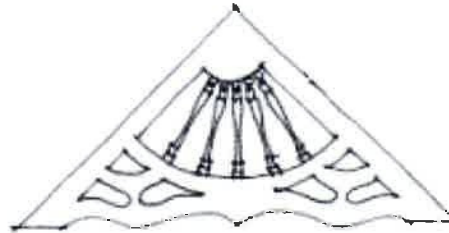


2 STORY / 2 CAR (OR 3) COURTYARD GARAGE



2 STORY / 3 CAR TANDEM GARAGE

DETAILS



GABLE END DETAIL



DECORATIVE BRACKETS & COLUMNS



GABLE END DETAIL

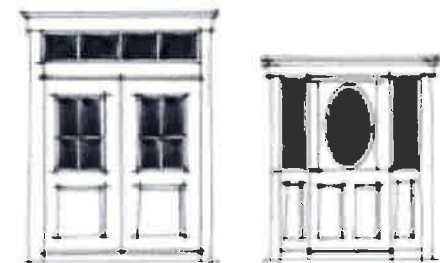
WINDOWS/DOORS



TRIM / SASHES / SILL & SKIRT BOARDS



DECORATIVE HEADER & JAMB



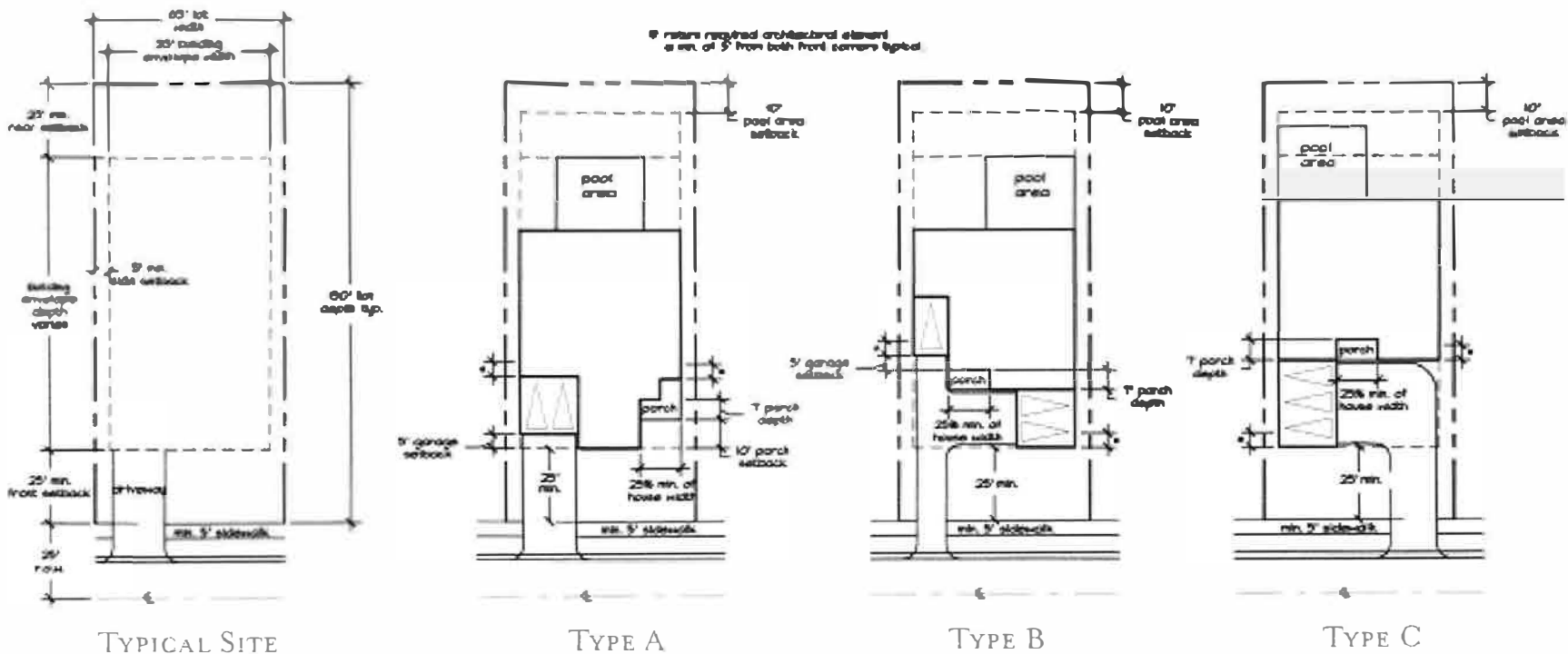
DOORS / SIDE LIGHTS / TRANSOMS

GENERAL NOTES AND REQUIREMENTS

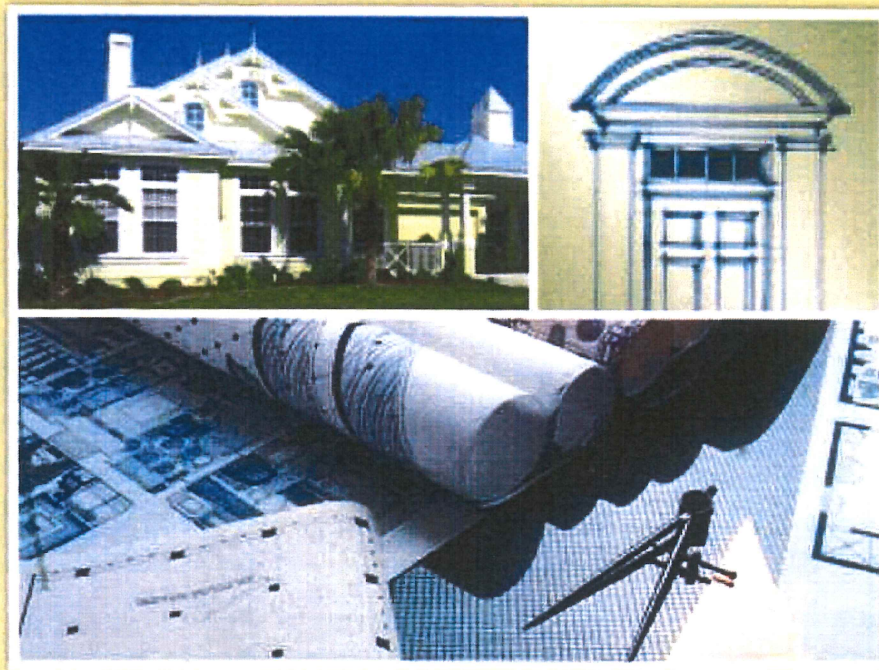
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- Front loaded garages must be set back a minimum of 5' from any adjacent structures, excluding the front porch.
- All front porches are required to be

- elevated a minimum of 12" above finished grade.
- All finished roofing material shall be a minimum of dimensional fiberglass shingles. Alternative roof finishes are flat concrete tile or slate. A limited amount of metal roofing may be used as well.
- All roof overhangs to be a minimum of 12" at gable roofs and 16" at hip

- roof locations.
- If two or more windows are to be used together they will need to be spaced by a minimum of a 3" mullion, but not more than 8".
- All side and rear windows and doors shall have a minimum of 4" trim band.
- Minimum 6" frieze band required at all soffit locations on the front elevation.



ARCHITECTURAL DESIGN GUIDELINES REVIEW SUMMARY



Southern Hills
PLANTATION CLUB

GUIDELINES FOR HOME CONSTRUCTION & DESIGN REVIEW SUMMARY

Southern Hills Plantation Club offers something special for those seeking an enhanced style of living, whether you are planning to purchase a homesite and build a custom home in the future or you are looking today for one of the classical single-family home designs to be offered by some of the area's top builders. We have established a building program which provides you with several ways to select your home. For example, you can choose from one of the pre-designed plans by a Participating Builder or arrange for the design and construction of a custom home on your homesite.

SELECTING A "PRE-DESIGNED" PLAN. The Participating Builders for Southern Hills Plantation Club will offer a variety of pre-designed plans for construction within the community. These plans will include single-family residences on homesites with typical widths of 52' for Cottage homesites, 65' for Manor homesites, 80' for Estate homesites and 100' for Grand Estate homesites. You can choose from any of their pre-designed plans, discuss options with your builder and enter into a home purchase agreement.

BUILDING A "CUSTOM" HOME.

If a one-of-a-kind home is more to your liking, you can purchase a homesite and arrange for the design and construction of a custom home. Choose between several homesite sizes and a variety of extraordinary environments from steep slopes with dramatic views to direct golf-front orientations. Although sizes and views vary throughout neighborhoods, widths are typically 80' for Estate homesites, 100' for Grand Estate homesites and 110'+ for Mansion homesites. If the design and construction of a custom home are best for your needs, there are several options available for your consideration:

- You can purchase a homesite and make arrangements for the design of a custom home at a later date. We realize that customers aren't always ready to build right away. Homesite purchasers enjoy flexible building timelines. Consult your Sales Associate for details.
- After purchasing a homesite, you can select a builder, work through the builder's architect for the design of a custom home, arrive at final plans and pricing, obtain approval of your building plans and enter into a construction agreement with the builder for the completion of your custom home.

- You can purchase a homesite, select an architect to design your custom home, obtain approval of your plans, price out the plans with one or more builders and enter into a construction agreement with the builder.

Whether you would prefer to work through an architect or a builder for the design of a custom home, fees are charged for design services and you should inquire about costs that may apply. Creating a custom home takes a little longer and, for those with the time, there are exceptional homesites with outstanding views available within Southern Hills Plantation Club.

SELECTION OF A BUILDER.

Purchasers may select from either a Participating Builder or a builder of their choosing so long as the builder obtains approval from the Developer and the Design Review Committee [DRC].

DESIGN REVIEW MANUAL. The Design Review Manual and DRC have been established to encourage the protection of property values through sound architectural and landscape practices. All plans require the approval of the DRC prior to constructing a home within the community. As developers of the community, our staff has a deep respect for the character of the lands that comprise Southern Hills Plantation. Our objective is to expand the opportunity for appreciating the natural beauty of the community and, at the same time, preserving the integrity of architectural design within each of our neighborhoods. Most important, the Design Review Manual has set high standards that will grow in importance over time and that will attract homeowners with a preference for superior planning and design. The Design Review Manual has been established to ensure a harmonious relationship among residences within each of our neighborhoods. Standards extend to such matters as how a home is oriented on a homesite as well as its architectural style, building materials, exterior colors and landscaping.

ARCHITECTURAL DESIGN. While individual creativity is encouraged for homes, the Design Review Manual requires that homes follow one of the following architectural themes: Colonial Revival, Craftsman ~ Bungalow, Georgian, Low Country or Victorian. All of these styles are very compatible with the character of Southern Hills Plantation Club. Some homes will be reminiscent of the timeless designs of the past while others will reflect a more relaxed style so long as the predominate characteristics and materials are appropriately exhibited. As reflected in the attached illustrations, the styles selected for Southern Hills Plantation Club can be as elegant as an estate, simplistic as a cottage or homey as a low-country ranch.

Characteristics of approved styles are expressed through the use of architectural details, materials and accents. For each architectural style shown, there is a list of design elements that are required, suggested or prohibited. Proposed architectural designs must comply with

the required design elements and include some but not necessarily all of the suggested design elements. The number of suggested design elements that must be incorporated into the home design varies by homesite size throughout the community as shown in the following table:

HOMESITE TYPE	TYPICAL HOMESITE WIDTH	SUGGESTED DESIGN ELEMENTS REQUIRED
Estate	80'	4
Grand Estate	100'	5
Mansion	110'+	5

KEY DESIGN REQUIREMENTS. Minimum home sizes have been established within individual neighborhoods where custom homes are permitted. The table below shows minimum air-conditioned square footages along with setbacks. Full details on required architectural styles, design standards and the approval process are available in the Design Review Manual.

HOMESITE TYPE:	TYPICAL HOMESITE WIDTH:	HOME: MIN. AIR CONDITIONED SQUARE FOOTAGE	HOME: MIN. FRONT YARD SETBACK	HOME: MIN. REAR YARD SETBACK	HOME: MIN. SIDE YARD SETBACK	HOME: MIN. SIDE YARD SETBACK ~ CORNER	SCREEN ENCLOSURE: MIN. REAR YARD SETBACK	SCREEN ENCLOSURE: MIN. SIDE YARD SETBACK	SCREEN ENCLOSURE: MIN. SIDE YARD SETBACK ~ CORNER
Estate	80'	2,500	25'	25'	7.5'	20'	5'	5'	20'
Grand Estate	100'	3,100	25'	25'	10'	25'	5'	5'	25'
Mansion	110'+	3,600	35'	25'	10'	30'	5'	5'	30'
Golf Vista	110'+	3,600	35'*	25'	10'	30'	5'	5'	30'
Grand Summit	110'+	4,500	25'	25'	10'	30'	5'	5'	30'
Pinnacle Place	110'+	4,500	25'	25'	10'	30'	5'	5'	30'

*50' is desired, but may be reduced to 35' with the approval of the Design Review Committee.